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## 1 APPLICATION OF POLICY

- 1.1 This Policy applies to all properties bound by Aberdare Road, Smyth Road and Verdun Street as shown in the Estate Plan at Figure 1 of this Policy.
- 1.2 This Policy applies to all development applications for single houses, grouped dwellings and multiple dwellings in the lots identified in the Estate Plan.

## 2 PURPOSE OF POLICY

- 2.1 To provide background information and set the design 'performance standard' for Hollywood.
- 2.2 To prescribe comprehensive building design guidelines to promote appropriate design solutions for development at Hollywood that facilitate an integrated and cohesive built form.
- 2.3 To enhance the design quality of dwellings proposed within the area.

## 3 OBJECTIVES OF POLICY

- 3.1 To create a development that exists in harmony with the environment at Hollywood and surrounding area.
- 3.2 To provide for development that has regard for the amenity of adjacent Lots and surrounding public areas.
- 3.3 To encourage a strong sense of architectural character that is contemporary, harmonious and responds to the qualities of the context and existing and future residential amenity and conditions and reflects different dwelling types and the characteristics of modern lifestyles.
- 3.4 To provide guidance for residential development that is site responsive, incorporates passive solar design, achieves thermal comfort and ventilation, is energy efficient, and promotes sustainable water management practices.
- 3.5 To ensure passive surveillance opportunities of the public realm yet respecting individual privacy.

## 4 RELATIONSHIP TO OTHER POLICIES AND GUIDELINES

- 4.1 These Design Guidelines have been adopted by the City of Nedlands as a Local Planning Policy and are to be read in conjunction with the Scheme Text.
- 4.2 In accordance with Schedule 2, Clause 57 of the Planning and Development (Local Planning Schemes) Regulations 2015 the Hollywood Detailed Area Plan (herein known as a Local Development Plan) will expire and be rescinded on 19 October 2025. This Policy incorporates the provisions of the Local Development Plan and shall remain in effect.
- 4.3 This Policy has been prepared in accordance with Schedule 2 Part 2 Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 4.4 This Policy should be read in conjunction with the following planning instruments and the Policy requirements apply unless specifically stipulated elsewhere in any of the below:
- *State Planning Policy 7.3 – Residential Design Codes Volume 1*
  - *State Planning Policy 7.3 – Residential Design Codes Volume 2 – Apartments*
  - *State Planning Policy 7.2 – Precinct Design*
  - *City of Nedlands Local Planning Scheme No. 3*
  - *City of Nedlands Local Planning Policy – Residential Development*



5 CONTEXT

5.1 ESTATE MAP

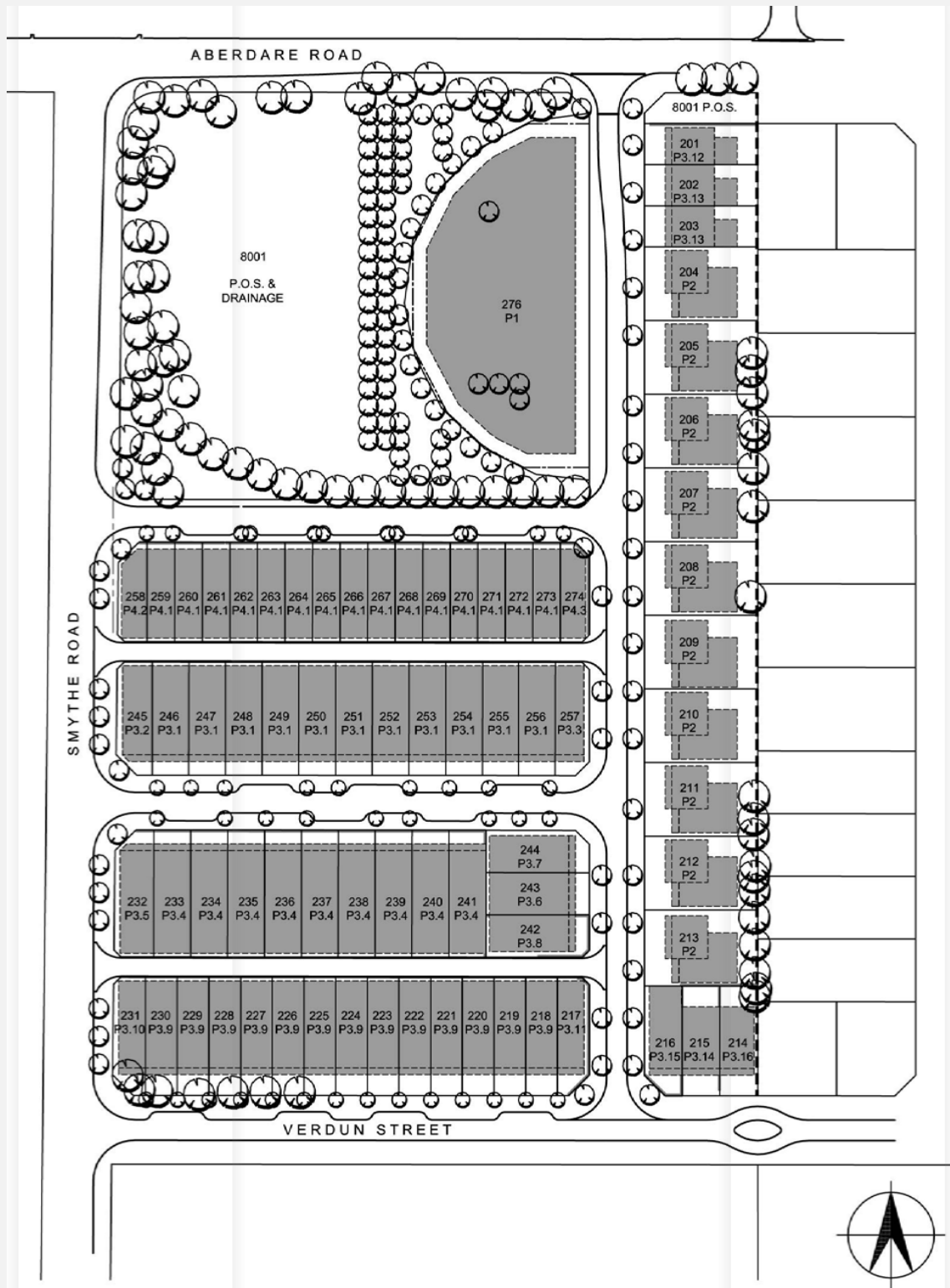


Figure 1 - Estate Plan



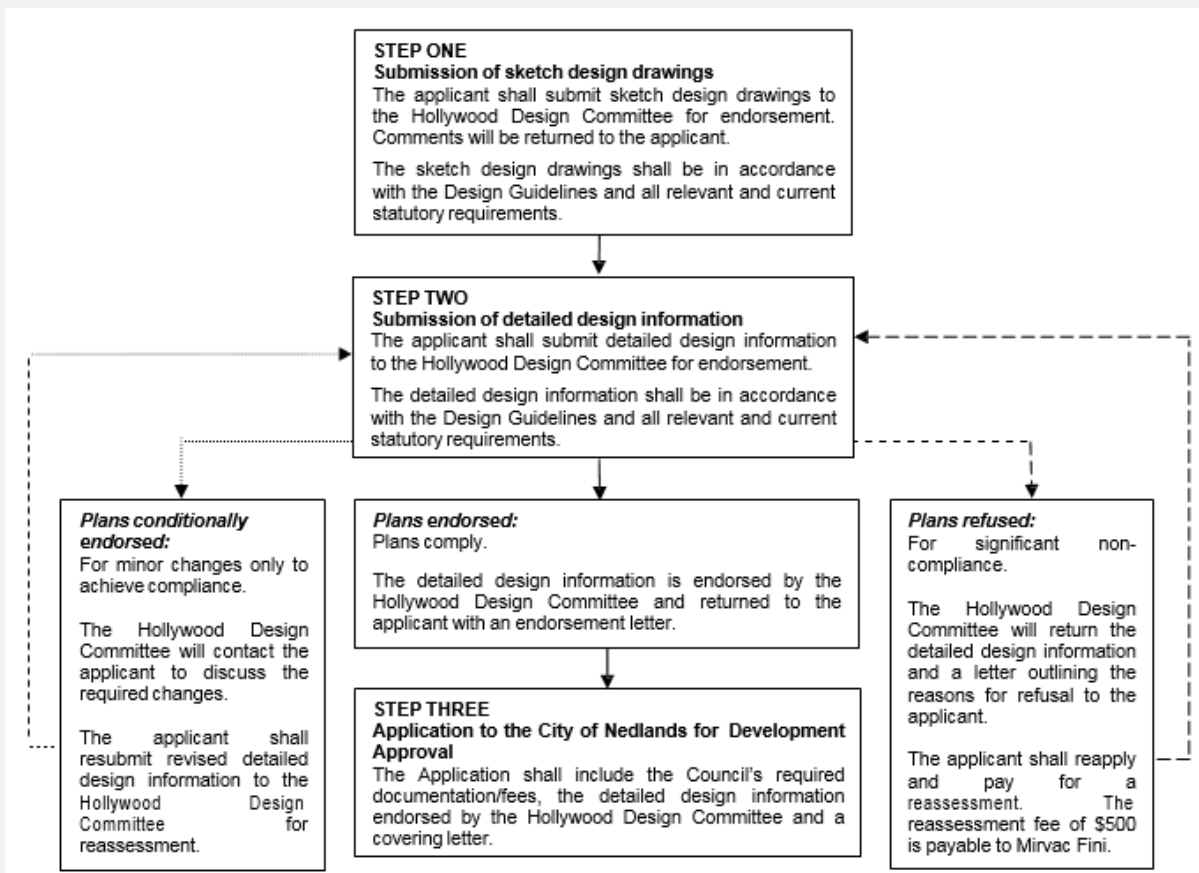
**6 POLICY MEASURES**

**6.1 Building Endorsement and Statutory Planning Approvals Process**

A lot owner shall obtain building endorsement from the Hollywood Design Committee before a formal application for Development Approval is lodged with the City of Nedlands.

A Development Approval must be obtained from the City prior to carrying out any development. The usual local government, building and Health by-laws remain in force and licences (building and health) must also be obtained, as necessary from the City of Nedlands.

- 6.1.1** The lot owner shall first obtain endorsement for their building from the Hollywood Design Committee (HDC) for all sketch design drawings and detailed design information. The HDC will guide the design development of every dwelling within the contract of sale conditions.
- 6.1.2** A Committee member will be available to answer telephone queries, and to meet, by appointment, with the Lot owner or their appointed Architect/Designer to discuss a proposal.
- 6.1.3** The HDC’s endorsement of a building design shall not imply or guarantee a Development Approval by the City of Nedlands. The City of Nedlands will be asked to consider the HDC’s endorsement of a building design as supporting advice included in the statutory planning process.
- 6.1.4** The HDC’s endorsement process prior to an application for statutory Development Approval is shown in the flow chart below:



- 6.1.5** Following the HDC’s building endorsement, an application for Development Approval shall be lodged with the City. In dealing with an application, the City of Nedlands will assess compliance with the Scheme, Policies and Guidelines.
- 6.1.6** The City may approve an application involving departures from the specific criteria of the Guidelines if, in its opinion, the application satisfies the objectives of the Guidelines. However, compliance with the performance



standards does not guarantee approval.

**6.1.7** Council may refuse Development Approval for a development not considered to be in keeping with the objectives of the guidelines. Therefore, each application will be assessed on its merits.

**6.2 Variations**

**6.2.1** Variations to this Policy shall be assessed against the objectives of this Policy.

**6.2.2** Applicants seeking variations to this Policy are required to submit a detailed written statement addressing each of the objectives of this Policy for the City’s assessment.

**6.3 Additional Development Application Requirements**

**6.3.1** In addition to the applicable details outlined on the City’s Development Application Checklist, a detailed landscaping plan and colour elevations drawn to a 1:100 scale are required to be provided as part of the development application.

**7 SITE REQUIREMENTS**

**7.1 Precinct 1: R60 Lot 276**

Setbacks	Refer to Appendix 1 – Precinct 1 Detailed Area Plan
Maximum total site cover	As per R-Codes
Minimum private open space	As per R-Codes
Maximum building height	3 storeys (9m maximum wall height, 10m maximum building height for gable, skillion and concealed roof and 12m for hipped and pitched roof).
Ground level	<ul style="list-style-type: none"> <li>The nominated “ground level” for measurement of height, shall coincide with the ‘as constructed’ graded and stabilised level retained as part of the completed subdivisional works undertaken by the Developer.</li> <li>Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 200mm above the as-constructed level provided by the Developer.</li> <li>Any basement development shall be fully concealed from public view.</li> </ul>
Vehicular access and car parking	<p>Vehicle access is limited to a maximum of two separate entry points from the primary street.</p> <p>Car parking is to be fully concealed on-site and not visible from the public realm</p>
Other	<ul style="list-style-type: none"> <li>No less than 30% of dwellings proposed in any Application for Approval to Commence Development shall have a maximum plot ratio area of 60m<sup>2</sup>.</li> <li>No less than 30% of dwellings proposed in any Application for Approval to Commence Development shall have a maximum plot ratio area of 90m<sup>2</sup>.</li> <li>No development shall occur unless it is on a green title lot which is greater than 4000m<sup>2</sup>.</li> <li>Single dwellings shall be permitted.</li> <li>Multiple dwellings shall be permitted.</li> <li>Grouped dwellings shall only be permitted as complementary to multiple dwellings.</li> <li>The development shall respond to its location abutting Public Open Space and surrounding residential Lots and streets by orientating elevations with habitable rooms, openings and balconies in a civic and neighbourly manner towards these areas.</li> <li>A design response that includes large expanses of blank walls and minimal articulation of the elevation and landscape; and any “back of development” appearance (e.g. exposed mechanical plant and servicing areas) visible from the public realm will not be accepted.</li> </ul>



	<ul style="list-style-type: none"> <li>The development shall include opportunities for passive surveillance of the public realm from openings and balconies.</li> <li>Signage shall be of a high quality graphic design, simple in format and appropriately located and integrated with the building design and landscape to minimise a cluttered appearance.</li> <li>Entrances shall be well lit for safe use after dark.</li> <li>Entry communication and mail delivery boxes shall be discreet and integral to the building design.</li> <li>A central waste storage and collection space shall ne included to accommodate bins.</li> <li>A Management Plan shall be submitted that details the operation in building services and tenancy agreements.</li> </ul>
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**7.2 Precinct 2: R15 Single Dwelling, Lots 204 – 213**

Setbacks	Refer to Appendix 2 – Precinct 2 Detailed Area Plan
Maximum total site cover	50%
Maximum building height	<ul style="list-style-type: none"> <li>Refer to Appendix 2: 2 storey maximum – 10m maximum building height; 1 storey maximum – 6.5m maximum building height.</li> <li>Building height is defined as ground level to the highest point of the roof. Variations to this building height may be supported provided they are of a minor nature, such as a feature chimney.</li> <li>2 storey maximum building height is permitted in a zone over the front half of the Lot that is at the lower level. This approach will generally reinforce the scale of the front streetscape and minimise the impact on existing buildings adjoining the rear of the Lot (Kitchener Street properties).</li> <li>Flat roof terraces and habitable rooms in the roof space above the permitted number of storeys are not permitted.</li> </ul>
Private open space	The primary private open spaceshall be located behind the front setback
Ground level	<ul style="list-style-type: none"> <li>The nominated “ground level” for measurement of height, shall coincide with the ‘as constructed’ graded and stabilised level retained as part of the completed subdivisional works undertaken by the Developer.</li> <li>Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 200mm above the as-constructed level provided by the Developer.</li> <li>Any basement development shall be fully concealed from public view.</li> </ul>
Vehicle access and car parking	<ul style="list-style-type: none"> <li>The lot shall accommodate at least two cars in a concealed structure that is constructed in the same materials, colour and style as the dwelling.</li> <li>The garage shall be incorporated into the design of the dwelling and be setback at least 0.5m behind the front elevation to reduce its visual impact if the street.</li> <li>The garage door shall be a segmented panel type door in a muted colour.</li> <li>The garage shall be limited to one opening at 6m maximum width; however a double garage may be split by a central pier.</li> </ul>

**7.3 Precinct 3: R30 Single Dwelling, Lots 201 to 203 and 214 to 257**

Dwelling on the Lot shall include a predominantly two-storey minimum elevation at the front to promote streetscape consistency	
Setbacks	<ul style="list-style-type: none"> <li>Refer to Appendix 3: Precinct 3 – Detailed Area Plans</li> <li>Development is encouraged to build from side boundary to side boundary in a terrace style, where nil lot lines are nominated.</li> </ul>
Maximum site cover	As per R-Codes
Private open space	<ul style="list-style-type: none"> <li>As per R-codes</li> <li>The dwelling’s primary outdoor living area shall be located behind the front</li> </ul>



	setback
Maximum building height	<ul style="list-style-type: none"> <li>Refer to Appendix 3: 2 storey maximum – 10m maximum building height; 1 storey maximum – 6.5m maximum building height.</li> <li>Building height is defined as ground level to the highest point of the roof. Variations to this building height may be supported provided they are of a minor nature, such as a feature chimney.</li> <li>A side wall built up to a nominated nil lot line is permitted to be 10m maximum in height (to allow for a skillion or gable end), and up to two-thirds maximum of the length of the boundary. The lot owner shall demonstrate, however, that the shadow cast by the development at midday, 21 June onto any other adjoining property coded R30 does not exceed 35% of the site area, and onto any other adjoining property coded R25 and lower does not exceed 25% of the site area.</li> <li>Any basement development shall be fully concealed from public view.</li> </ul>
Ground level	<ul style="list-style-type: none"> <li>The nominated “ground level” for measurement of height, shall coincide with the ‘as constructed’ graded and stabilised level retained as part of the completed subdivisional works undertaken by the Developer.</li> <li>Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 200mm above the as-constructed level provided by the Developer.</li> </ul>
Vehicular access and car parking	<ul style="list-style-type: none"> <li>Vehicular access to <b>Lots 217 to 242, 245 to 257</b> shall only be obtained using the rear lane way. Vehicular access onto the site from the adjacent street/s is not permitted. At least two cars shall be accommodated on the Lot in a covered structure that is constructed in similar materials, colour and style as the dwelling.</li> <li>A garage door shall not extend into the laneway during operation and at rest.</li> <li>Vehicular access to <b>Lots 201 to 203, 214 to 215 and 243</b> shall only be from the primary street. Parking for at least two cars shall be in a concealed garage. The garage shall be incorporated into the design of the dwelling, and it shall be set back behind the dwelling elevation by at least 0.5m to reduce its visual impact on the street. The garage shall be limited to one opening at 6m maximum width,</li> <li>Vehicular access to <b>Lots 216 and 244</b> shall only be from the secondary street. Parking for at least two cars shall be in a concealed garage. The garage shall be incorporated into the design of the dwelling at the rear half of the Lot. The garage shall be limited to one opening at 6m maximum width; however a double garage may be split by a central pier.</li> <li>The garage door facing a primary or secondary street shall be a segmented panel type door in a muted colour.</li> </ul>
<b>7.4 Precinct 4: R50 Terrace, Lots 258 to 274</b>	
Dwelling on the Lot shall include a predominantly two-storey minimum elevation at the front to promote streetscape consistency.	
Setbacks	<ul style="list-style-type: none"> <li>Refer to Appendix 4: Precinct 4 Detailed Area Plan</li> <li>Development is encouraged to build from side boundary to side boundary in a terrace style, where nil lot lines are nominated.</li> </ul>
Maximum site cover	70%
Private open space	<ul style="list-style-type: none"> <li>As per R-Codes</li> <li>The dwelling’s principal outdoor living area shall be located behind the front setback</li> </ul>
Maximum building height	<ul style="list-style-type: none"> <li>12m maximum building height (three-storey maximum).</li> <li>Building height is defined as ground level to the highest point of the roof. Variations to this height may be supported provided they are of a minor</li> </ul>



	<p>nature, such as a chimney.</p> <ul style="list-style-type: none"> <li>A side wall built up to a nominated nil lot line is permitted to be 12m maximum in height (to allow for a skillion or gable end), and up to two-thirds maximum of the length of the boundary. The lot owner shall demonstrate, however, that the shadow cast by the development at midday, 21 June onto any other adjoining property coded R50 does not exceed 50% of the site area.</li> </ul>
Ground level	<ul style="list-style-type: none"> <li>The nominated "ground level" for measurement of height, shall coincide with the 'as constructed' graded and stabilised level retained as part of the completed subdivisional works undertaken by Mirvac Fini.</li> <li>Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 200mm above the as-constructed level provided by the Developer.</li> </ul>
Vehicular access and car parking	<ul style="list-style-type: none"> <li>Vehicular access to a Lot shall only be obtained using the rear lane way. Vehicular access onto the site from the adjacent street/s is not permitted.</li> <li>The Lot shall accommodate at least two cars in a covered structure that is constructed in similar materials, colour and style as the dwelling.</li> <li>No garage door shall extend into the lane way during operation and at rest.</li> </ul>

**8 ENVIRONMENTAL PERFORMANCE**

In **Precincts 1 to 4**, a dwelling shall be designed to minimise heating and cooling costs; improve upon energy efficiency and minimise greenhouse gas generation; and reduce water consumption.

**Mandatory Design Criteria**

Solar access	M1	At least one main living area (for example a lounge, dining or kitchen) and at least one major opening shall be located to face north to receive solar heat gain in winter. This space shall receive direct sun at 12 noon on 21 June.
	M2	Openings shall be appropriately sized and shaded to reduce solar heat gain in summer.
	M3	<p>A solar hot water system shall be installed to receive sufficient solar gain on a suitable and preferred north facing roof, or a secondary west facing roof. The solar hot water system (with gas booster) shall achieve a minimum of 28 Renewable Energy Certificates.</p> <p>Where the preferred north or secondary west facing roof is visible from the public domain, the storage tank is to be screened from public view. As far as practicable, the solar panels shall integrate with the roof, be frameless and mounted flush with the roof. All solar collectors, tanks and associated mounting equipment to be colour coordinated with the roof to minimise adverse visual</p>
Energy	M4	The thermal performance of the dwelling shall achieve the current statutory star rating First Rate rating, or similar, under deemed-to-comply provisions of the Building Code of Australia. The thermal performance of the building envelope shall be maximised through solar access, insulation, shade devices and draft prevention.
	M5	Natural day light into the dwelling shall be maximised. Glazing, however, shall be minimised on the eastern and western elevations and be appropriately shaded.
	M6	Openings shall be located to promote cross ventilation to passively cool the dwelling and reduce reliance on mechanical cooling.
	M7	The dwelling's living and sleeping areas shall be capable of being closed off from each other to allow for any localised heating and cooling.
	M8	Any mechanical heating and cooling system shall be sized to match the affected spaces, and a minimum 5 star rated appliance installed.
	M9	Water efficient fixtures (for example taps, shower heads and toilets) shall achieve





		a minimum AAA rating.
	M10	At least one bathroom shall include an openable window to the outside. However, this requirement should not apply to Precinct 1, or corner lots less than 10m width in Precincts 3 and 4.
	M11	Any external clothes drying area shall be concealed from public view and well-ventilated to dry clothes efficiently.
	M12	A gas hob shall be specified.
Water	M13	Provision shall be made to dispose of stormwater on-site, using means such as soakwells, soft paving, segmented and permeable pavers and decking.
	M14	Programmable irrigation controllers and tap timers with waterwise irrigation (sub-surface drip irrigation trickle irrigation, drippers, and coarse drop sprays) shall be installed in garden areas.
Materials	M15	Agricultural forestry timbers shall be specified throughout.
Recycling	M16	Suitable provision shall be made internally for waste recycling - i.e., three bins provided within kitchen cabinetry for recyclables and non-recyclables.
Noise	M17	All mechanical equipment shall be designed and installed to operate at maximum capacity within the Noise requirements of the <i>Environmental Protection (Noise) Regulations 1997</i> .

## 9 BUILT FORM

The vision for Hollywood is to create a development that reflects its unique context. The elements detailed below should create a high quality living environment incorporating design principles that will help to maintain a distinctive sense of place. **Note that Precinct 1 has particular built form requirements separately listed in the previous section on Site Planning.**

The elements are architectural character; individual buildings and their relationship to the public realm; and materials and colours.

### 9.1 Architectural Character

The architectural character for Hollywood shall have a distinct, high quality contemporary and robust identity that relates to the objectives of the development, context and site conditions, different dwelling types and modern lifestyles, and environmentally responsive design (refer Fig 1 below). ***The copying and direct application of imported or historical architectural colours and styles, such as Mediterranean and Federation, is inappropriate and not permitted.***

Contextual aspects to be taken into consideration include:

- I. the park and streets
- II. topography
- III. microclimate
- IV. views and vistas
- V. orientation and ability to provide “eyes on the street” for passive surveillance of the public realm
- VI. access by pedestrians and vehicles.



Figure 2: Typical examples of high quality contemporary architecture

## 9.2 Elevations

The design of a dwelling shall achieve architectural excellence and respond in a neighbourly manner to the public realm. Elevations visible from the primary and secondary streets and Public Open Space shall include openings and features related to habitable rooms and their associated activity, with more private spaces and functions located elsewhere.

- I. A dwelling's major public elevation shall address the primary street.
- II. The elevations of a dwelling on a corner Lot shall address both the primary and secondary streets, or Public Open Space.
- III. The elevation facing the rear or lane way shall match the quality of design of the dwelling's



major elevations so as not to lower the amenity of neighbouring Lots.

- IV. Any wall built up to the boundary that is visible and faces a neighbouring Lot shall be built to the same quality of finish as the primary elevation.
- V. Elevations shall provide interest and expression of a contemporary architectural identity through careful articulation, and inclusion of elements such as balconies, verandas, openings, shade devices and defined entry porches.
- VI. Large areas and long lengths (typically no more than 9m) of unarticulated, monotone or blank wall visible from the public street are *not* permitted.
- VII. Clear glass or clear solar control glass shall be in openings facing the primary and any secondary street. Curved, tinted and reflective glass shall *not* be visible from these streets.

### 9.3 Roofscape

Careful consideration shall be given to achieving an integrated roof, eaves detail, and dwelling elevation. (refer Fig. 3 below)

- I. A principal duo-pitched roof shall have a minimum pitch of 27.5 degrees. Other minor roofs incorporated as part of the dwelling design may have a shallower pitch.
- II. A principal roof, other than a flat roof and a roof built up to the boundary, shall have eaves of 400mm minimum width.
- III. A skillion roof pitch shall be 5% minimum.
- IV. A flat roof shall include a fascia edge detail or be screened behind a parapet wall.
- V. A lighter roof colour shall be selected to help reduce heat absorption (i.e. black and charcoal colours are *not* permitted).
- VI. A pronounced roof tile pattern will be considered on aesthetic and functional merits.
- VII. Metal shall be permitted as a roofing material.

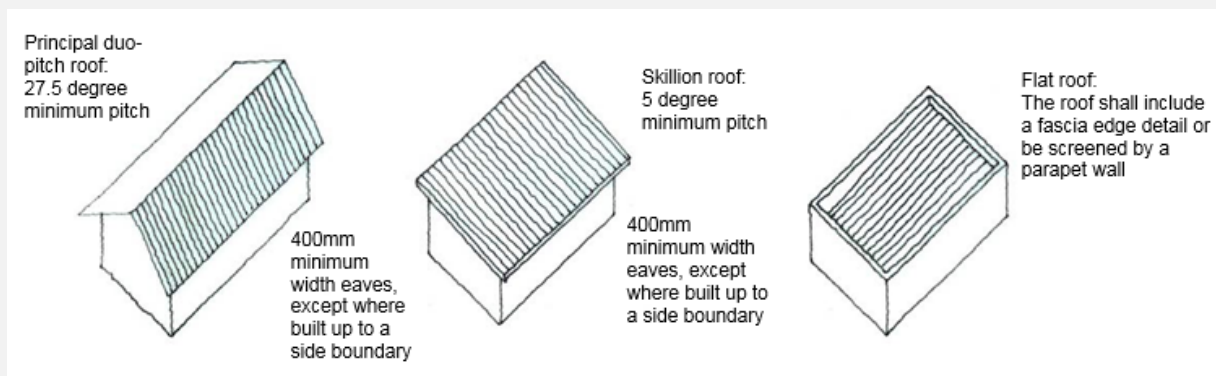


Figure 3: Roof types

### 9.4 Materials and Colours

Materials and colours of a dwelling shall convey a contemporary aesthetic. Architectural richness is encouraged through the use of a variety of high quality materials and colours, such as:



- I. rendered masonry
- II. feature stone
- III. small areas of feature face brickwork
- IV. recycled, plantation or sustainable harvested timber
- V. steel elements and details.

The use of alternative materials will be considered on aesthetic and functional merits

#### 9.5 Private Open Space

The size, orientation and location of the principal private open space shall relate to at least one living area within the dwelling (other than a bedroom) by being accessible and visible from the interior. Consideration should be given to access for daylight, air circulation, solar access for winter sun, and privacy. One useable area is preferred as opposed to many smaller areas unsuitable for outdoor activities.

#### 9.6 Fencing and letterbox

For all Lots in **Precincts 1 to 4**, the following requirements apply (refer Fig. 5 overleaf), except where qualified:

- I. For **Precinct 1 only**, a fence facing the Public Open Space and internal north-south street shall be 1.5m maximum height (excluding any retaining wall on which the fence is constructed). Any part of the fence above 0.9m shall be at least 70% visually permeable.
- II. Any front fence facing the primary street including any corner truncation, and 4m minimum along any secondary street (see 2. below) and 2m minimum along any laneway (see 3. below), shall be 0.9m maximum height (excluding any retaining wall on which the fence is constructed).
- III. The side fence facing the secondary street or Public Open Space shall commence 4m minimum from the Lot's corner truncation and shall be 1.8m maximum height (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in rendered brick with a minimum of three equally spaced infill panels installed above 0.9m height. The fence shall be painted to complement the dwelling and public reserve.
- IV. The panels shall be 2m in length by 1.1m high and may consist, for example, of decorative ironwork, vertical railings or horizontal timber slats to complement the dwelling and to add interest to the public reserve (refer Fig. 5 overleaf).
- V. The side fence facing the lane way shall be 1.8m maximum height (excluding any retaining wall on which the fence is constructed). This fence shall commence 2m minimum from the Lot's corner truncation. The fence shall be constructed in materials, colours and style to match and complement the dwelling.
- VI. The rear fence facing the lane way shall be 1.8m maximum height (excluding any retaining wall on which the fence is constructed). The fence may include a gate and shall be constructed in materials, colours and style to match and complement the dwelling.
- VII. The fence *in front* of the dwelling and dividing Lots shall be 0.9m maximum height (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling.



- VIII. The fence *behind* the front setback and dividing Lots shall be at a nominal height of 1.8m maximum (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling.
  - I. Fibrous cement (i.e. Supersix), corrugated metal sheeting (i.e. Colorbond), and timber pinelap fences are **not** permitted in this development.
  - II. The letterbox shall be incorporated into the design of the front fence or, if freestanding, constructed in solid masonry or concrete and finished to match and complement the building.
- III. The dimensions and positions of all proposed minor retaining walls that are visible from public areas shall be provided to the Developer as part of the building endorsement process, and to the City of Nedlands with the application for a Development Approval. Any new retaining walls shall be constructed in the same materials and colours as the existing retaining walls built by the Developer. Copies of the engineering criteria for the existing retaining walls can be obtained from the Developer or the City of Nedlands.
- IV. No existing retaining wall installed by the Developer shall be altered without first applying for and obtaining written approval from the Developer (refer to figure 3).

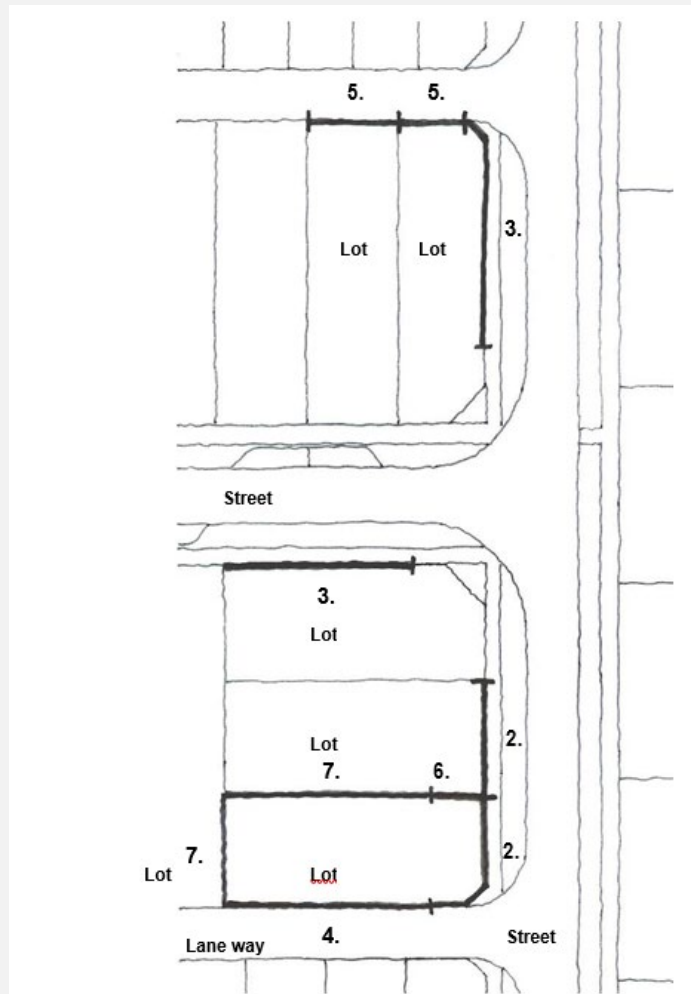


Figure 4: Location of fencing types

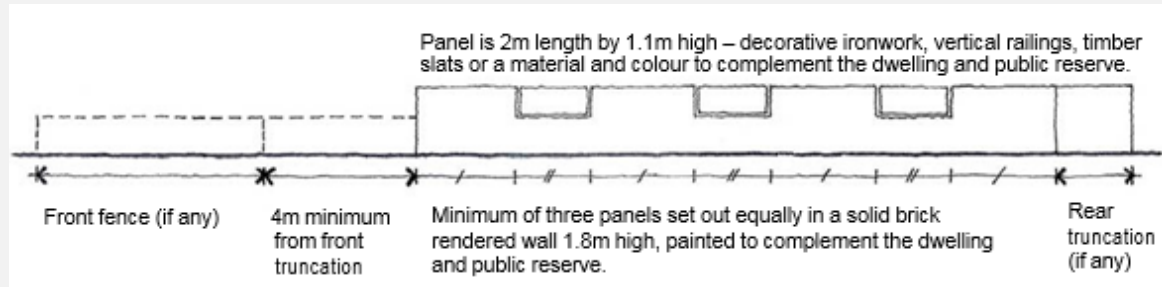


Figure 5: Type 3 fence

**9.7 Landscaping**

The following is a list of recommended water wise plant species:

**Trees**

Citrus sp.	Lemon and orange trees	small evergreen tree
Celtis australis	Nettle Tree	medium deciduous tree
Eucalyptus torquata	Coral Gum	small evergreen tree
Eucalyptus cladocalyx nana	Sugar Gum	small evergreen tree
Eucalyptus leucoxylon 'Rosea'	Red Flowering Gum	medium evergreen tree
Gleditsia tricanthos 'Sunburst'	Golden Honey Locust	medium deciduous tree
Lagerstroemia indica	Crepe myrtle	small deciduous tree
Pyrus ussuriensis	Manchurian pear	medium deciduous tree
Sapium sebiferum	Chinese tallow	small deciduous tree
Ulmus parvifolia	Chinese elm	medium deciduous tree

**Shrubs Sun**

Acaathus orientalis	Blue African Lily	tufted shrub
Aeonis flexuosa nana	Dwarf Peppermint	shrub or hedae
Hypocalymma robustum	Pink Myrtle	shrub
Photinia 'Red Robin'	Red Photinia	hedae
Raphiolepis indica alba	Indian Hawthorn	shrub or hedae
Rosmarinus sp	Rosemary	shrub or hedae
Syzqium sp	Lilly Pillv	hedae
Thryptomene sp.	Thryptomene	shrub
Westringia fruticosa	Coastal Rosemary	shrub or hedge

**Shrubs Semi Shade**

Clivia sp.	FireLily	tufted shrub
Coprosma repens	Mirror Bush	shrub or hedae
Dianella revoluta	Flax lily	tufted shrub
Laurus nobilis	Bav Tree	tall shrub or hedae
Liriope muscari	Lily Turf	tufted shrub

**Feature Shrubs**

Callistemon Endeavour	Callistemon	shrub
Phorium sp.	NZ Flax	tufted shrub
Strelizia reginae	Bird of Paradise	tufted shrub
Westringia Jervis Gem™	Jervis Gem Rosemary	small shrub
Yucca gloriosa	Spanish Dagger	tufted shrub

**Groundcover and climbers**

Bouqainvillea sp.	Bouqainvillea	climber
Eremophila 'Kalbarri Carpet'	Emu bush	groundcover
Trachelosporium iasminoides	Star Jasmine	climber or groundcover
Rosa banksiae	White Climbing Rose	climber

**Succulents and Cacti**

Aqave attenuata	Foxtail Aqave	perennial succulent
Carobrotus virescens	Native Piface	creeping succulent
Echeveria glauca.	Echeveria	clump forming succulent

**10 SERVICES**

The following points outline the final details that need to be considered when designing your home. These elements include pipes, TV antennae, wiring, air conditioners, drainage systems and storage areas.

These Design Guidelines establish the best way to locate items that are essential for everyday living but may not contribute to an appealing environment. To create an attractive development, we have outlined ways in which such items can be concealed or positioned in a non-intrusive way.

**10.1 Services**

- All pipes, wired services, clothes drying areas, hot water storage tanks and such items shall be concealed on the Lot, and shall not be seen from anywhere in the public realm.
- TV antennae, satellite dishes and radio masts shall not be seen from the primary street. These items shall be located where they are not easily seen from the secondary street or neighbour's property (for example, located at the rear of the roof and below the roof ridge level).
- An air conditioner shall not be seen from the primary street. This item shall be located where it is not easily seen from the secondary street or the neighbour's property (for example, located preferably at ground level or if roof mounted, at the rear of the roof and below the ridge level).
- Refer to the section on Environmental Performance for further requirements and guidance on passive solar and energy efficiency measures.

**10.2 Stormwater**

Stormwater shall be collected within the Lot. Details of the drainage system shall be provided in accordance with the City of Nedlands' requirements, with the exception of all Lots in Precinct 4.

**10.3 Waste recycling**

- Waste bin/s shall be stored and concealed from public view on the Lot.
- Where the bin/s are to be collected from a laneway at the rear of a Lot, provision shall be made for the appropriate number of bin pads (in accordance with City of Nedlands' waste recycling requirements)

**10.4 Storage**

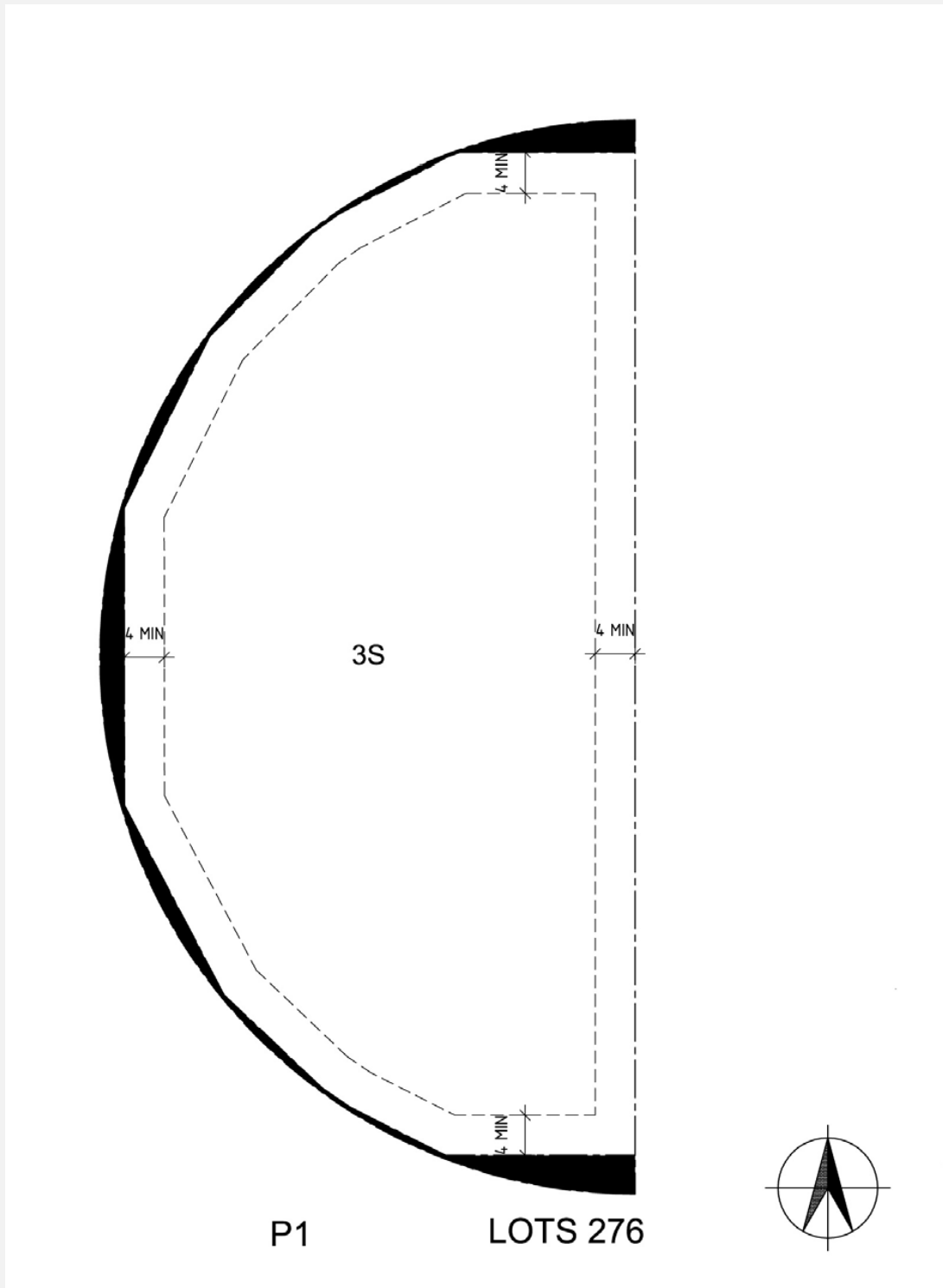
- Each dwelling in **Precincts 2 to 4** is recommended to include a secure store area (typically 4m<sup>2</sup>) that is integrated into the dwelling or the garage. If freestanding, the store shall be constructed in a style, materials and colours to match each dwelling.
- Commercial vehicles, including caravans, boats, trailers etc. shall not be parked or stored on the Lot unless enclosed within a garage or fully screened from public view.

Council Resolution Number	D77.06
Adoption Date	26 September 2006
Date Reviewed/Modified	2 May 2019 (Item 6) 25 July 2023



11 APPENDICES

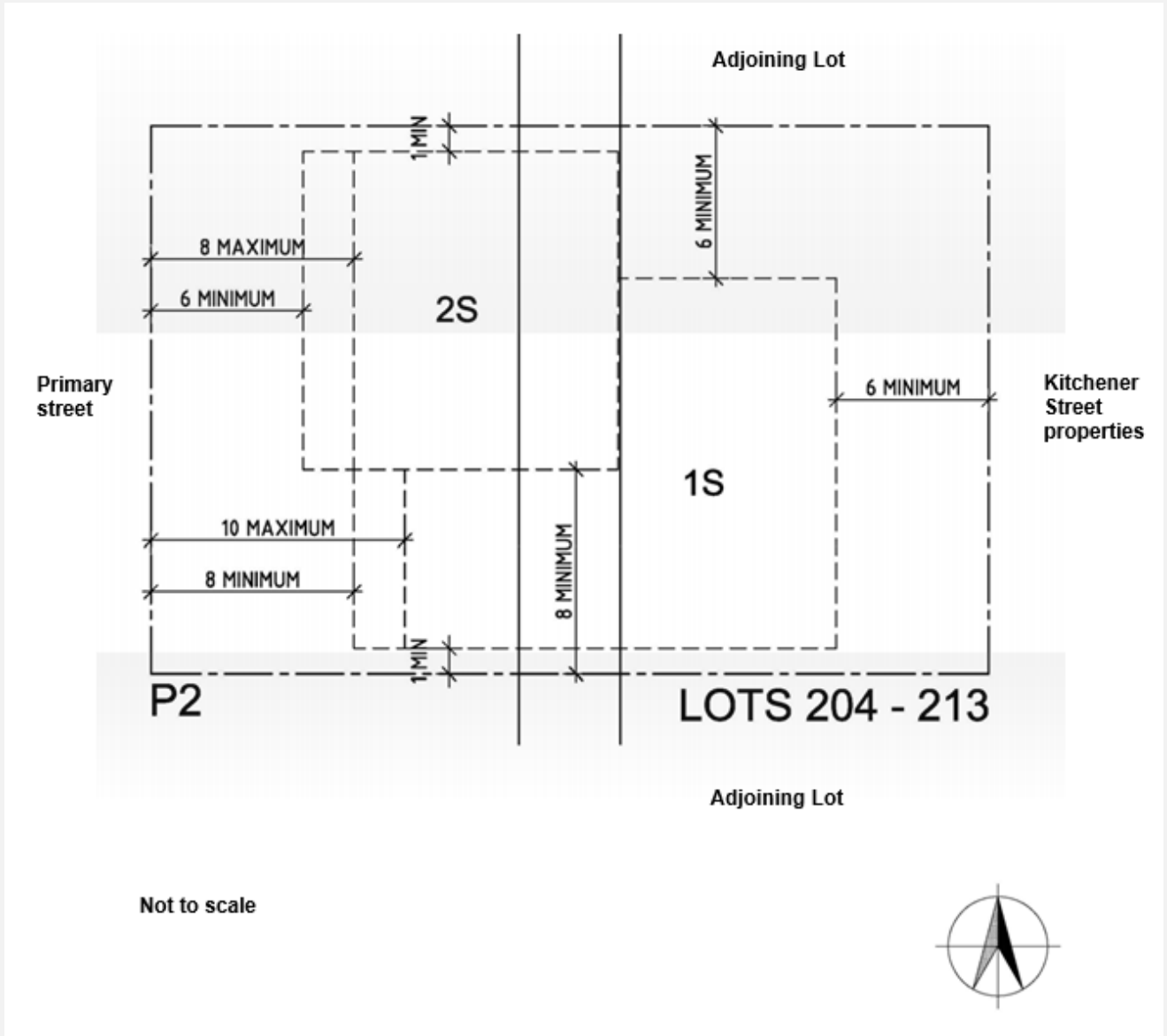
11.1 Appendix 1: Precinct 1 Detailed Area Plan – Lot 276





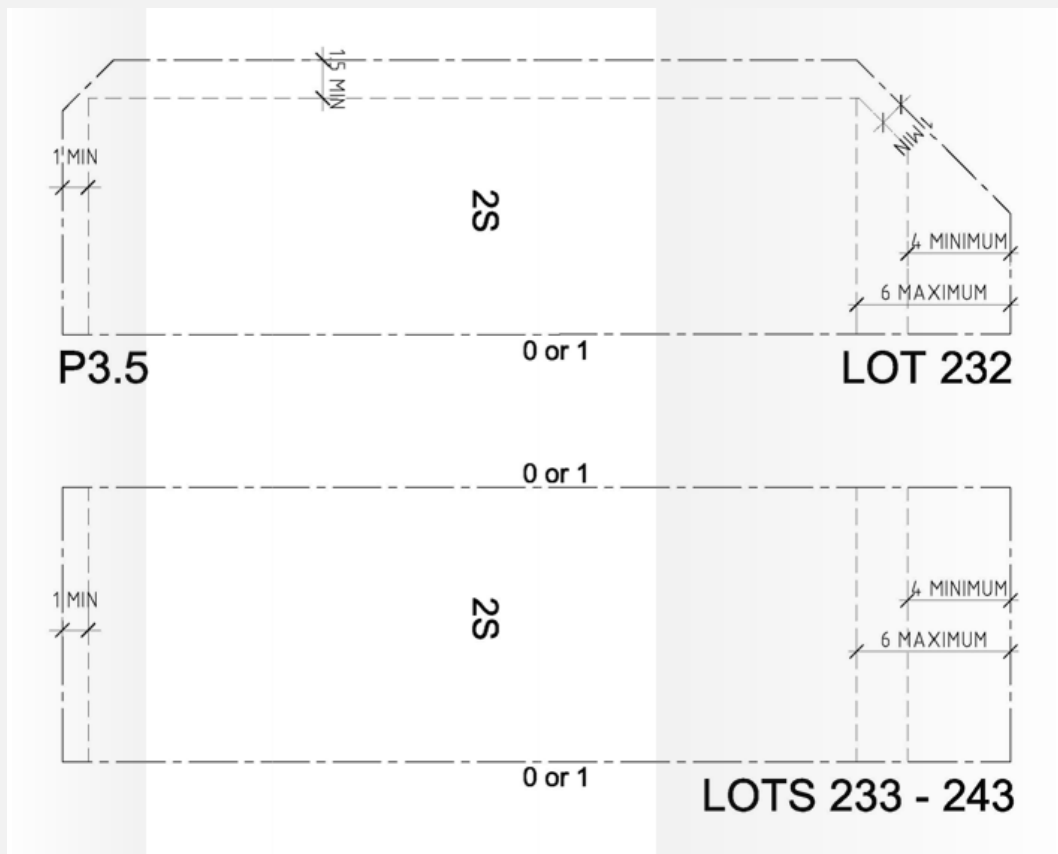
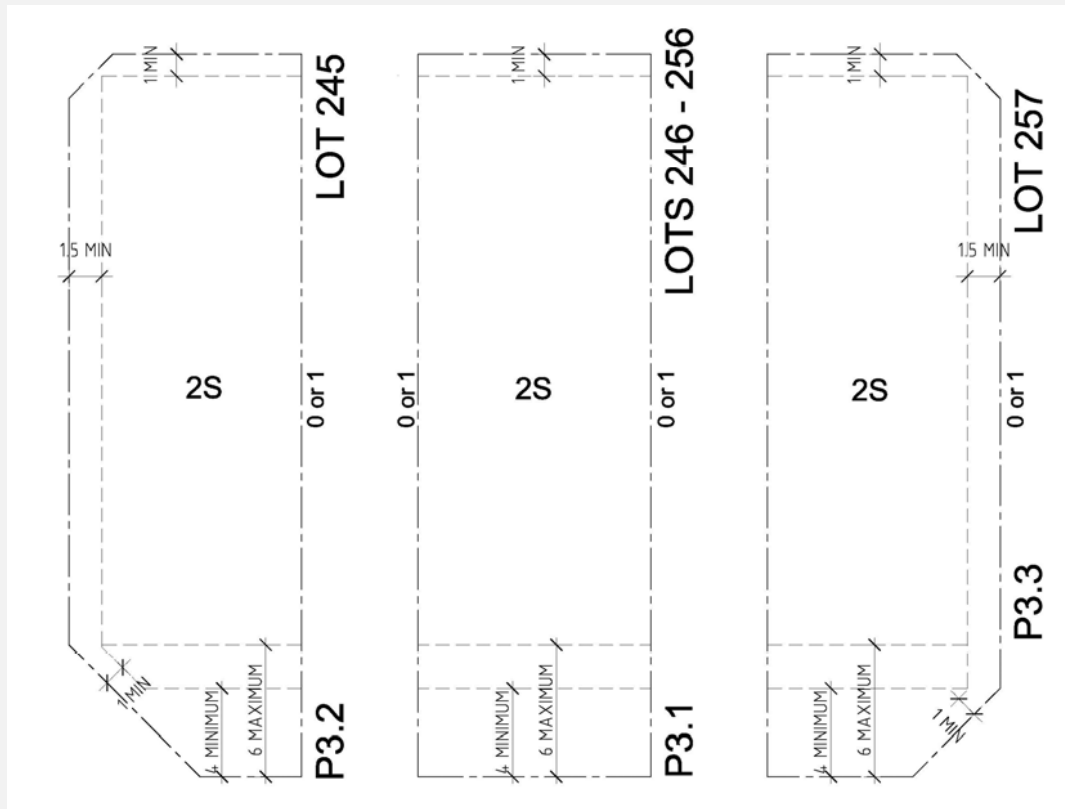


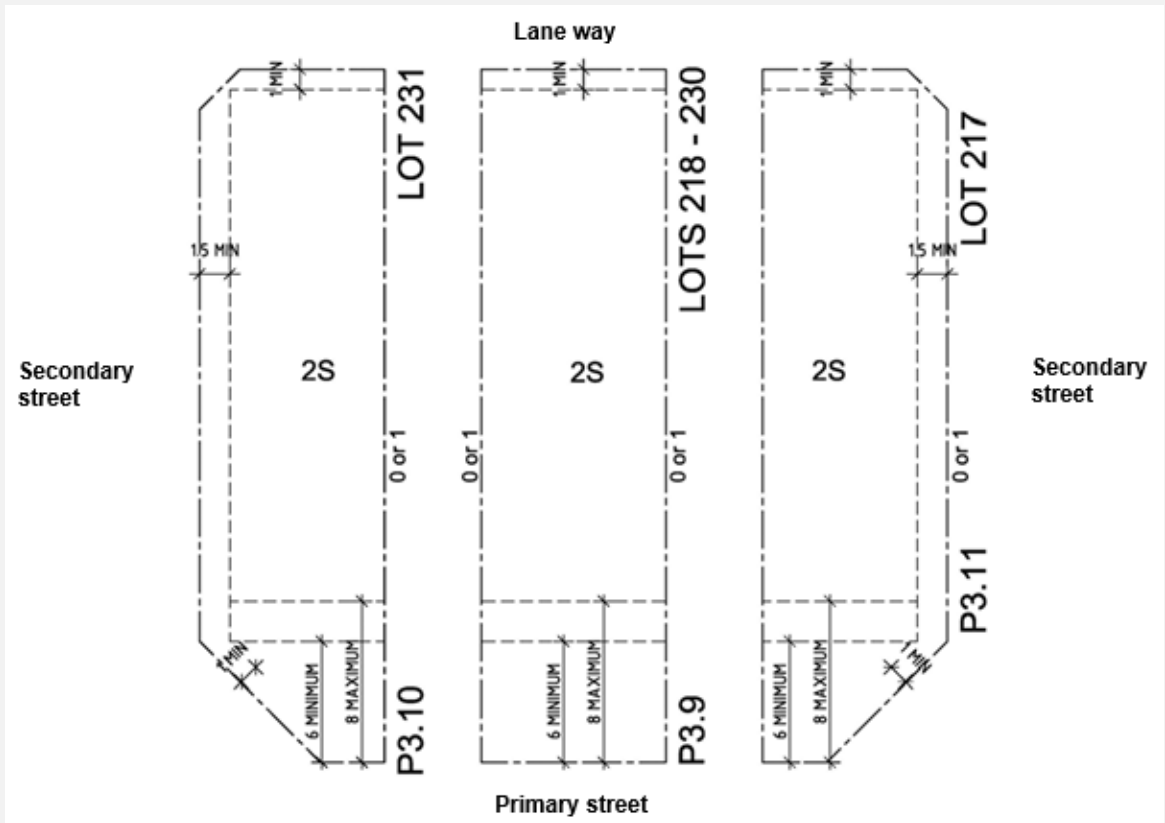
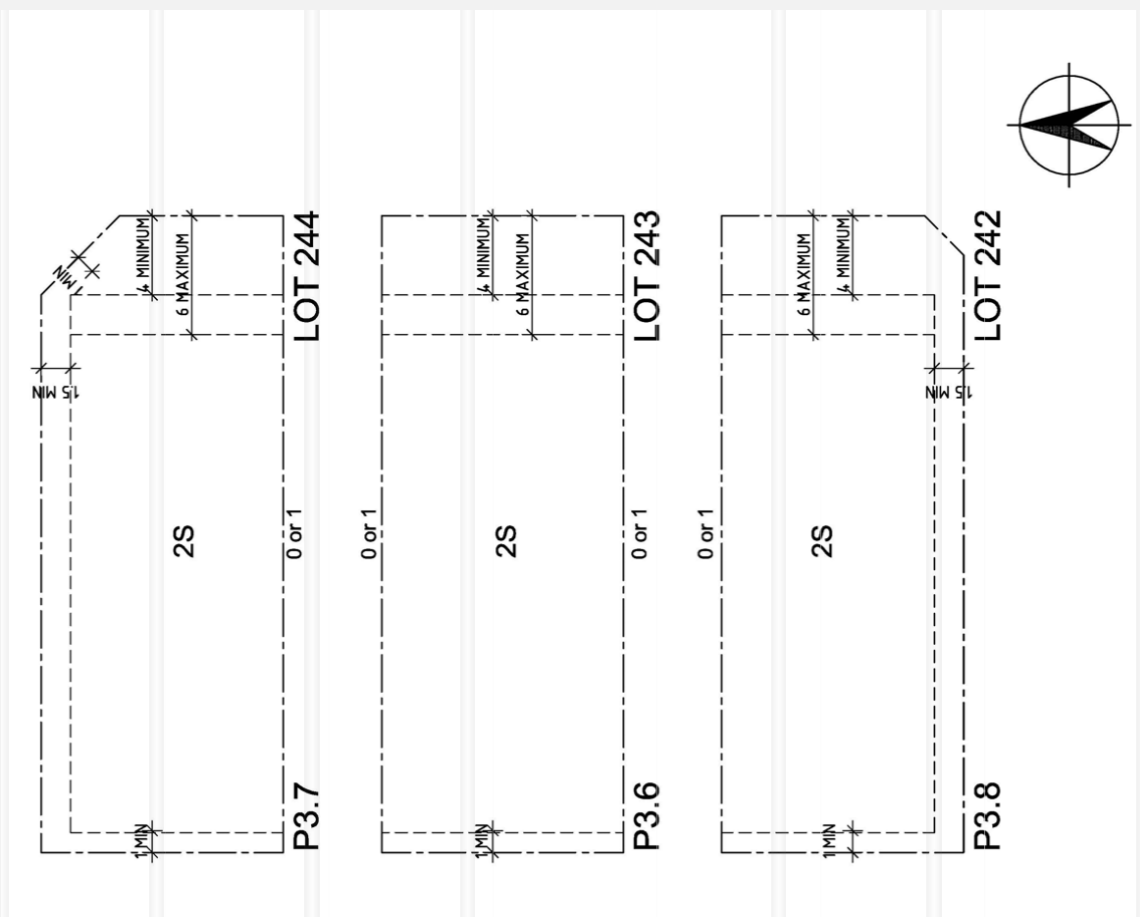
11.2 Appendix 2: Precinct 2 Detailed Area Plan – Lots 204 – 213

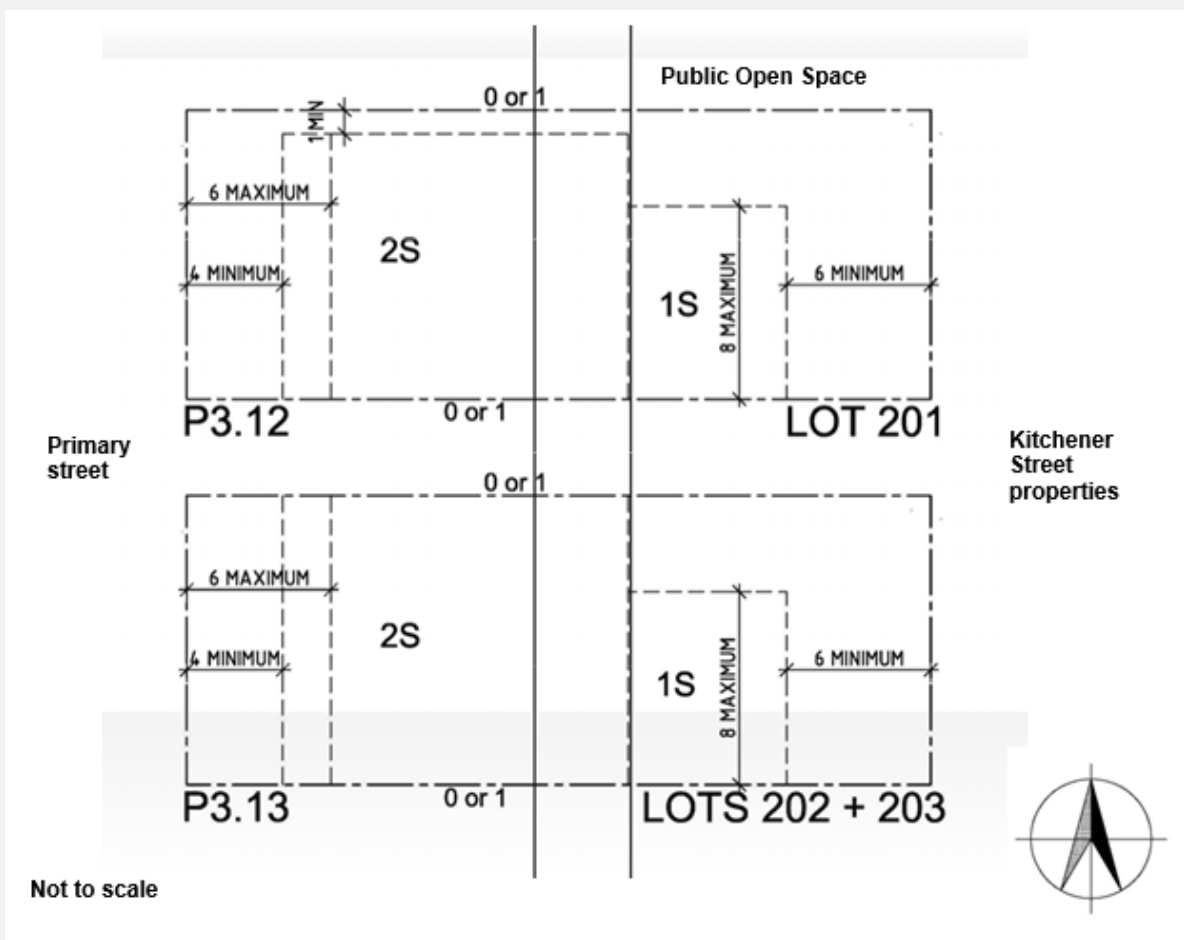




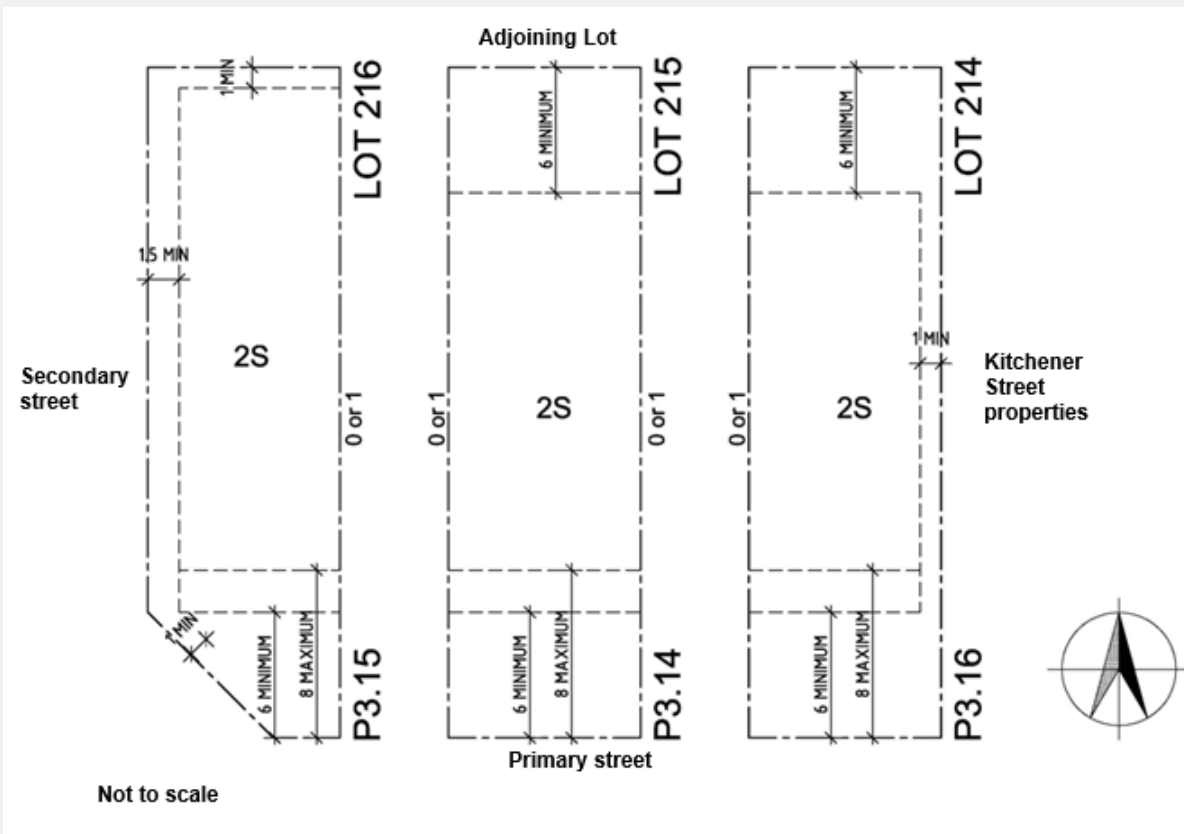
11.3 Appendix 3 – Precinct 3 Detailed Area Plan – Lots 201 to 203 & 214 to 257







Not to scale



Not to scale



11.4 Appendix 4 – Precinct 4 Detailed Area Plan – Lots 258 to 274

